



**TOWN OF WATERTOWN
CONSERVATION COMMISSION & INLAND WETLANDS AGENCY
REGULAR MEETING AGENDA
Thursday, June 11, 2026, 6:30 p.m.
*Watertown Town Hall, Town Council Chambers
61 Echo Lake Road***

- 1. CALL TO ORDER & ROLL CALL**
- 2. PUBLIC PARTICIPATION**
- 3. APPROVAL OF MINUTES**
 - a. Regular Meeting – April 9, 2026
 - b. Regular Meeting – May, 14, 2026
- 4. PUBLIC HEARING**
- 5. PENDING APPLICATIONS**
 - a. App #2026-11 – Miko – 54 Rockdale Court – Construction of 16’ x 20’ addition to an existing garage.
- 6. NEW APPLICATIONS & REQUESTS**
 - a. App #2026-15 – Mottillo – Stonybrook Lane – Construction of a single-family home and associated site development within upland review area. MBL# 014-26C-001.
- 7. COMMUNICATION & BILLS**
- 8. REPORTS**
- 9. PUBLIC PARTICIPATION**
- 10. ADJOURNMENT**
 - *Next Meeting Date: August 13, 2026*

Respectfully submitted,

Ned Dalton, Chairman
Conservation Commission & Inland Wetlands Agency
Town of Watertown, CT

6/11/26

THIS MEETING WILL BE AN IN-PERSON MEETING AND WILL ALSO BE AVAILABLE VIA ZOOM FOR LISTEN ONLY. A LINK WILL BE POSTED ON THE DAY OF THE MEETING. PLEASE SEE WWW.WATERTOWNCT.ORG - UNDER THE CALENDAR OF MEETINGS



Town of Watertown Connecticut
Conservation Commission/ Inland Wetland Agency
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5266
www.watertownct.org

Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut

Application for Permit

Permit Application Number: 00CCINA2020-11

Property location: 54 Rockdale Ave

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. Name of Applicant: Geoffrey Wiko
Business or Home Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ Mobile#: 203 560 1040
Email: jswiko@hotmail.com

2. Applicant's Interest in Land:
 Owner Lessee Contract Purchases Other – Please Describe
To build 15 x 20 Addition to existing garage

3. Name of Property Owner: Geoffrey Wiko
Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ Mobile: 203 560 1040
Email: _____

4. Name of Authorized Agent: Geoffrey Miko
Address: 54 Rockdale Ave Oakville CT
Telephone #: _____ Mobile 303 568 1040
Email: _____

5. Property owner's consent to the activities proposed in this application:
~~No build is to be addition to garage~~ Date: 01/12/28
Geoffrey Miko

6. Geographical Location of subject property:
54 Rockdale Ave Oakville CT

A. Attach a vicinity map prepared at a scale of one-inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.

B. Is the property located within 500 feet of any adjoining town or city boundary?
Yes or (No)

If yes, identify municipalities:

() Bethlehem () Middlebury () Morris () Thomaston () Waterbury () Woodbury

7. Purpose and Description of the Proposed Activities, Use or Operation.

A. List below or attach a narrative describing the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses. Attach a site development plan.

Proposed addition to existing garage would be 16' w x 20' L
Attached to back of existing garage, excavation for foot wall
foundation to match existing and excavated soil to be used
in backfill of new foundation. The proposed addition would be
104.6 ft from rear property line. Total area of proposed addition
to garage would be 320 sq ft. Distance between rear of addition
(closest point to creek brook) would be 100 ft since foundation is
installed all disturbed areas of lawn to be reseeded and
restored to current conditions

B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered.

one alternative initially considered was to purchase a pre built structure, shed garage. This idea was rejected because it would place the structure further into the upland review area and further encroach upon the setback. By attaching to the existing structure this setback distance can be maximized. For this reason, a full on addition would be the least impactful.

C. Steps taken to avoid or minimize impacts to wetlands and upland review area.

Survey of property to determine if structure could be built anywhere on property without encroachment

D. List any mitigation or enhancement measures if avoidance is not possible.

E. Provide a report from a qualified soil scientist.

F. Describe the proposed erosion and sediment control plan.

1 minimize excavation area to only what is necessary for frost wall foundation
2 soil to be kept around work area and to be re-used as backfill for new foundation
3 installation of silt fence

Inland Wetland Fee Schedule

Residential uses means activities carried out on property developed for permanent housing or being developed to be occupied by permanent housing.

Commercial and industrial uses means activities carried out on property developed for industry, commerce, trade, recreation or business or being developed to be occupied for such purposes, for profit or nonprofit.

An additional \$60.00 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

Other uses means activities other than residential, commercial or other industrial uses.

Permitted uses as of right \$0.00

No regulated uses \$35.00

REGULATED USES

Residential Uses

Single Lot \$125.00

Proposed Subdivisions \$250.00
Plus \$50.00 per each proposed lot

Commercial and Industrial Uses

Regulated Area \$250.00
Plus \$25.00 per acre of regulated area

All other uses \$150.00

Significant Activity fee/ Public Hearing Fee \$350 .00

Map Amendment Petitions \$200.00 plus \$25.00/acre

Modification of Previous Approval \$100.00 (Permit Approval)

Transferal of an Existing Permit \$50

No application shall be granted or approved by the Conservation Commission/ Inland Wetland Agency unless the correct application fee is paid in full or unless a waiver has been granted by the Conservation Commission/ Inland Wetland Agency pursuant to subsection 4.14 of the Town Fee Ordinance #09-20-93-134.

The application fee is not refundable. Fees shall be paid by either cash, check or creditcard.

All checks should be made payable to the 'Town of Watertown. Prior to holding a public hearing, the \$350.00 significant activity fee (public hearing fee) must be paid to the Planning and Zoning Office prior to the public hearing being scheduled and advertised in the newspaper.

An application will be considered incomplete if all the required fees are not paid.

INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

*Use a separate form to report EACH action taken by the Agency. Complete the form as described below.
Do NOT submit a reporting form for withdrawn actions.*

PART I: Must Be Completed By The Inland Wetlands Agency

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
 - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
 - B = Any Permit Denied by the Inland Wetlands Agency
 - C = A Permit Renewed or Amended by the Inland Wetlands Agency
 - D = A Map Amendment to the Official Town Wetlands Map - or -
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
 - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
 - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
 - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
 - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.
Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>
ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: https://media.clear.uconn.edu/data/watershed_maps/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): _____
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): _____
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): _____
briefly describe the action/project/activity (check and print information): temporary permanent description: _____
- ACTIVITY PURPOSE CODE (see instructions - one code only): _____
- ACTIVITY TYPE CODE(S) (see instructions for codes): _____, _____, _____, _____
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: _____ acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

PART III: To Be Completed By The DEEP

DATE RECEIVED:

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR **NO**

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR **NO**

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR **NO**

9. Complete the following section if the purpose of this application is to transfer, amend/ modify a previously issued permit:

A. Name of current permittee: _____


B. Agency number of existing permit: _____

C. Initiation date of existing permit: _____

D. Expiration date of existing permit: _____

10. Complete the attached D.E.E.P. reporting form.

11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.




Signature of Property Owner

4/13/26

Date:

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.



Signature of Applicant

4/13/26

Date:


AFFIDAVIT

I, Geoffrey Miko of Oakville hereby depose and

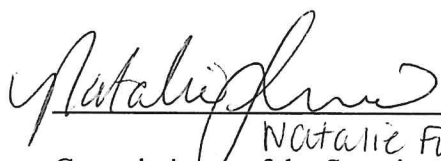
say:

1. That I am over the age of 18 and believe in the obligation of an oath;
2. That I am the Owner of 54 Rockdale Ave Oakville CT 06779
3. That I have an application pending before the Conservation Commission/ Inland Wetlands Agency which is subject to Section 9.4.a. to 9.4.i. of the Watertown Inland Wetlands and Watercourses Regulations concerning the posting of public hearing notices;
4. That I have fully complied with the regulation concerning posting of public hearing notices.

Subscribed and sworn to before me, this 13th day of April, 2026.



Geoffrey Miko



Natalie Forino
Commissioner of the Superior Court
Notary Public
My Commission Expires: 2/28/2030

Subscribed and sworn to before me
This 13 day of April, 2026
NOTARY PUBLIC
MY COMMISSION TO EXPIRE FEBRUARY 28, 2030

A-1

SHEET:

1/4"=1'-0"

SCALE:

07/12/2025

DATE:

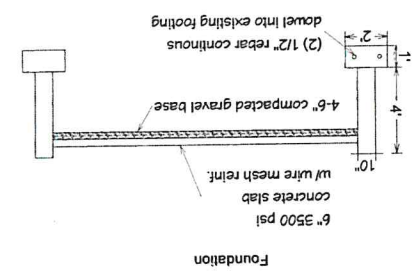
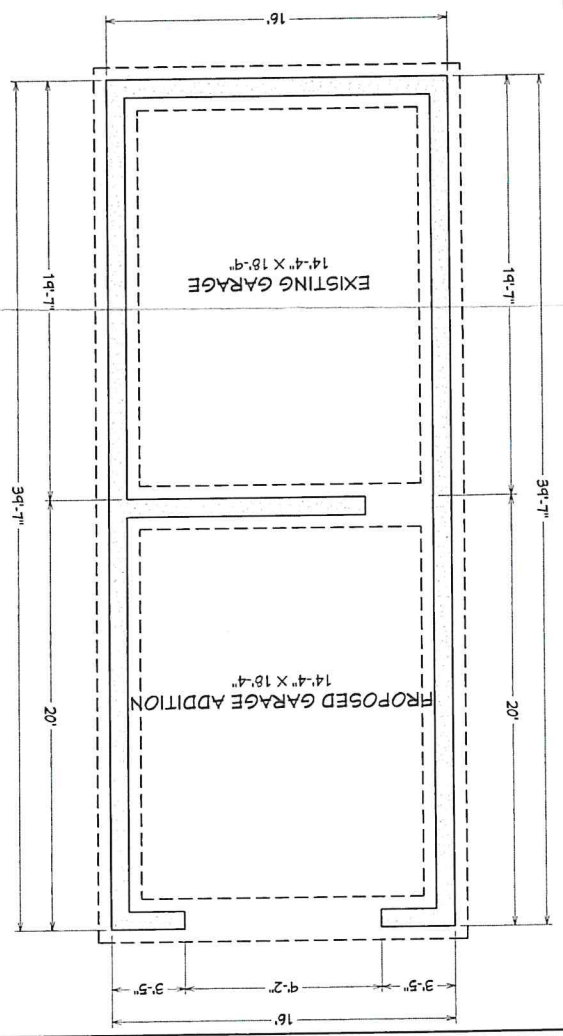
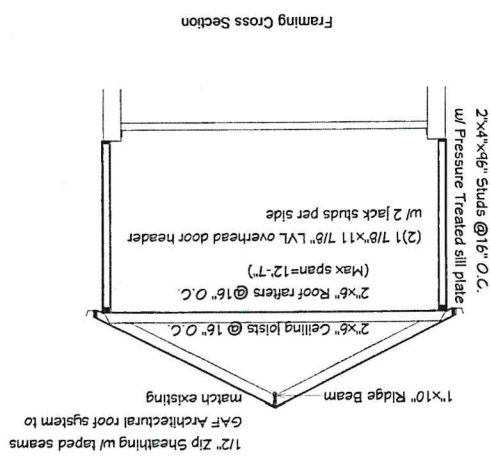
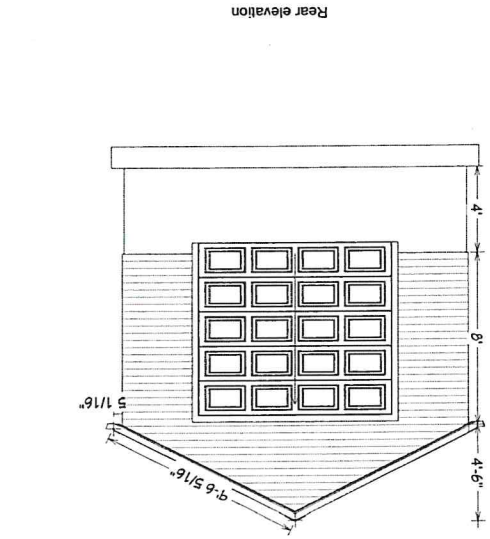
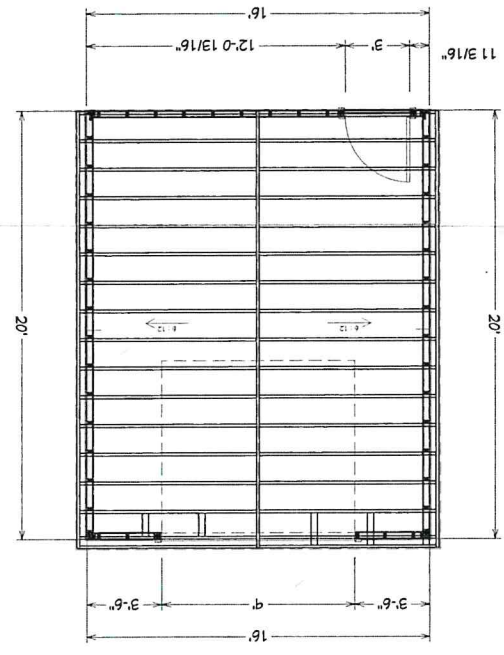
DRAWINGS PROVIDED BY:
ABC GENERAL CONTRACTORS
154 CLIFF STREET
NAUGATUCK, CT 06770
(203)723-0199

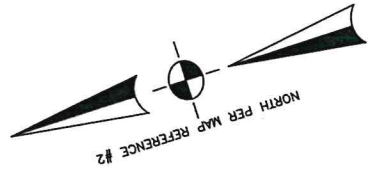
PROJECT DESCRIPTION:
MIKO GARAGE ADDITION

SHEET TITLE:

LAYOUT

NO.	DESCRIPTION	BY	DATE





ITEM	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	7,500 SQUARE FEET	13,920 SQUARE FEET
MINIMUM SQUARE	75 FEET	73 FEET
MINIMUM LOT FRONTAGE	50 FEET	73.14 FEET
MAX. BUILDING HEIGHT	3 STORES OR 35 FEET	LESS THAN 35 FEET
MINIMUM FRONT YARD	25 FEET	N/A
MINIMUM REAR YARD	30 FEET	104.6 FEET
MINIMUM SIDE YARD	10 FEET	10.6 FEET & 47.0 FEET
MAX. BUILDING COVERAGE	40%	13.2%
MAX. IMPERVIOUS COVERAGE	60%	17.6%

RESIDENCE DISTRICT RG ZONING TABLE

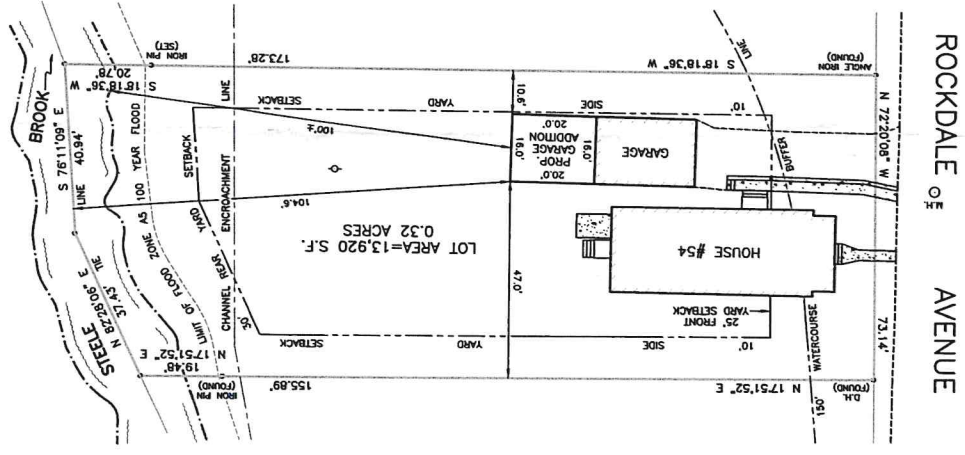
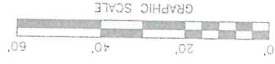
SURVEY NOTES:

1. This map has been prepared pursuant to the Regulations of Connecticut State Agencies sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Survey Type: Improvement Location Survey.
3. Boundary determination/opinion is based on a Dependent Resurvey.
4. This map conforms to class A-2 horizontal accuracy standards.



To the best of my knowledge and belief, this map is substantially correct as noted hereon.
David P. Petrocchia
 David P. Petrocchia, L.S., License #18,627
 Not Valid Without Embossed Seal Affixed

- REFERENCE MAPS
1. Map of Property 54 Rockdale Avenue Oakville, Connecticut Prepared For John Delarosa October 11, 1994 prepared by Meyers Associates, P.C.
 2. Improvement Location Survey-Proposed Addition Prepared For Amy Chevallier Bendell & David Robert Bendell 60 Rockdale Avenue Watertown, Connecticut May 14, 2019 prepared by Smith & Company, Inc.
 3. Map of Land of Seymour Smith & Son, Inc. Watertown, Connecticut January 21, 1985 revised to January 30, 1985 prepared by A.J. Patton Co.



N/F
 AMY CHEVALLIER BENDELL &
 DAVID ROBERT BENDELL
 VOL.2083 PG.173

N/F
 PETER J. KARAS &
 DEANNA E. KARAS
 VOL.1254 PG.218

IMPROVEMENT LOCATION SURVEY
 PROPOSED GARAGE ADDITION
 PREPARED FOR GEOFFREY C. MIKO
 54 ROCKDALE AVENUE
 OAKVILLE, CONNECTICUT

DATE:	JUNE 13, 2025
DRAWN:	D. PETROCCHIA
CHECKED:	D. PETROCCHIA
SHEET:	1 OF 1
OFFICE OF:	DAVID P. PETROCCHIA
REVISIONS:	
SCALE:	1"=20'



Town of Watertown Connecticut
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Conservation Commission / Inland Wetland Agency
Town of Watertown, Connecticut

Application for Permit

Permit Application Number: CC, WA 0026-15

Property location: LOT 1 STONYBROOK LN MBL # 14-26C-1

INSTRUCTIONS

All applicants must complete Section 1 of this application form for preliminary review. If the Agency determines that the activity described constitutes a significant activity in accordance with the definition provided in Section 2.1 of the Regulations, then a public hearing shall be scheduled, and additional information requested. In addition to the information supplied in Section 1, the applicant may submit any other supporting documents or facts which may assist the commission in its evaluation of the proposal. Incomplete applications will be rejected by the commission.

1. Name of Applicant: ANTONIO & LISA MOTTILLO
Business or Home Address: 42 FERRONE AVE
WATERBURY, CT 06708
Telephone #: 203-232-9884 Mobile#: _____
Email: Mottillolisa1@gmail.com

2. Applicant's Interest in Land:
 Owner Lessee Contract Purchases Other – Please Describe

3. Name of Property Owner: SAME AS APPLICANT
Address: _____

Telephone #: _____ Mobile: _____
Email: _____

4. Name of Authorized Agent: _____
Address: _____
Telephone #: SELF Mobile _____
Email: _____

5. Property owner's consent to the activities proposed in this application:
Date: _____

6. Geographical Location of subject property:
"O" STONYBROOK LN - 1000' ± SOUTH OF THE INTERSECTION WITH
HIDDEN POND DRIVE, SOUTH OF #64 STONYBROOK LN.

A. Attach a vicinity map prepared at a scale of one-inch equals 1,000 feet, or larger, which is of sufficient detail to allow identification of the property on the Inland Wetlands and Water Courses Map, Town of Watertown, Connecticut.

B. Is the property located within 500 feet of any adjoining town or city boundary?
Yes or No

If yes, identify municipalities:

Bethlehem Middlebury Morris Thomaston Waterbury Woodbury

7. Purpose and Description of the Proposed Activities, Use or Operation.

A. List below or attach a narrative describing the proposal including area computations of all wetlands, watercourses, and upland review areas to be altered; type and volume of material to be deposited or removed, separating distances between proposed regulated activities and wetlands and/or top of bank of any watercourses. Attach a site development plan.

The proposal is for a single family residence on an existing lot with an area = 4.47 ± AC. The wetland area on site is 26,674 S.F. none will be disturbed. The upland regulated area = 113,733 S.F. 30,116 S.F. is proposed to be disturbed for the construction of the house, driveway and septic system. The closest distance from the regulated area disturbance to the wetland edge is 10' ±, 56.6' ± to DECK. There will be cut and fill of clean accepted material in the amount of 385 ± C.Y. (INCLUDING THE BASEMENT EXCAVATION).
CUT

- B. Provide a narrative describing the alternatives to the proposal which have been considered, and state why these alternatives were rejected in favor of the requested activity. Attach drawings or diagrams which show the alternatives considered.

The alternative considered is to construct the house in the rear of the property. This option would require a 450' driveway, which would generate more impact to the upland review area.

- C. Steps taken to avoid or minimize impacts to wetlands and upland review area.

The proposed house and driveway are located as close to the existing roadway as possible, leaving the wetland untouched and minimum regulated area impact as possible.

- D. List any mitigation or enhancement measures if avoidance is not possible.

We maintain the same drainage pattern. The disturbed area is planned to be immediately stabilized after grading is done. Wetland markers will be installed to minimize further disturbance.

Underground storage units are proposed to capture roofwater to allow for groundwater recharge and minimize runoff.

- E. Provide a report from a qualified soil scientist.

- F. Describe the proposed erosion and sediment control plan.

Silt fence, silt sock, crushed stone construction entrance, loan and seed.

PLEASE ANSWER THE FOLLOWING STATEMENTS

8. The applicant shall certify the following information by circling the appropriate word(s).

A. Traffic attributable to the completed project on the site (will/will not) use streets within an adjoining municipality to enter the site. YES OR NO

B. Sewer or water drainage from the project site (will/will not) flow through and impact the sewage or drainage system of another municipality. YES OR NO

C. Water run-off from the improved site (will/ will not) impact streets or other municipal or private property within another municipality. YES OR NO

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B. Agency number of existing permit: N.A.

C. Initiation date of existing permit: _____

D. Expiration date of existing permit: _____

10. Complete the attached D.E.E.P. reporting form.

11. The undersigned hereby consents to necessary and proper inspections of above referenced property by members or agents of the Inland Wetlands Agency at reasonable times, both before and after the permit in question has been acted upon by the Agency.

Lise Wolw
Signature of Property Owner

5-27-26
Date:

12. The undersigned attest that the information supplied in the completed application is accurate, to the best of his or her knowledge and belief and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.

Lise Wolw
Signature of Applicant

5.27.26
Date:

AFFIDAVIT

I, Lisa Mottillo of 42 Ferrone Ave Waterbury -hereby depose and

say:

1. That I am over the age of 18 and believe in the obligation of an oath;
2. That I am the OWNER of Lot # 1 Stonybrook Ln
3. That I have an application pending before the Conservation Commission/ Inland Wetlands Agency which is subject to Section 9.4.a. to 9.4.i. of the Watertown Inland Wetlands and Watercourses Regulations concerning the posting of public hearing notices;
4. That I have fully complied with the regulation concerning posting of public hearing notices.

Subscribed and sworn to before me, this 27th day of May, 20 26.

Lisa Mottillo

Lisa M. Cattaneo

Commissioner of the Superior Court
Notary Public
My Commission Expires:

LISA M. CATTANEO
Notary Public, State of Connecticut
My Commission Expires 03/31/2029

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THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

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Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.
6. Enter the USGS Quad Map name or number (1 through 115) as found on the Connecticut Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>
ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: https://media.clear.uconn.edu/data/watershed_maps/index.htm (no roads depicted) or at CTECO: http://www.cteco.uconn.edu/map_catalog.asp (depicts roads, choose town and a natural drainage basin map).
7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, -don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")

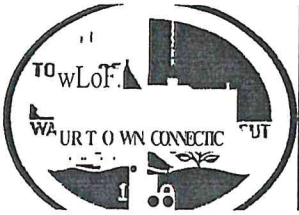
Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road
Watertown, CT 06795
Telephone: (860) 945-5266

Website: www.watertownct.org



SITE WALK/FIELD INSPECTION REQUIREMENTS

Dear Applicant/ Applicant Representative:

Please be advised that pursuant to Section 7 Article VII of the By-laws of Conservation Commission/ Inland Wetland Agency of Town of Watertown (the Agency) when the Agency determines that a field inspection/ site walk is appropriate, the Agency will set a time and place at the convenience of its members to gain on site knowledge of the proposed activities. The applicant or his agent/ representative, the design engineer and the Soil Scientist who delineated and flagged the wetlands/watercourses shall be present and the following shall be provided:

1. Adequate and safe access to the property
2. All wetlands and watercourses (permanent and intermittent) on the site shall be delineated and flagged by a certified Soil Scientist. Soil Scientist report shall be submitted with the application.
3. All building locations, access ways, onsite septic system locations and other regulated activities shall be marked on the site.
4. A copy of the proposed Site Plan shall be available on the site during the site walk/field inspection.

No testimony may be taken on the site walk/field inspection by the Commission.

Signature of Applicant: Lise Nolan Date: 5-27-26

Signature of Property Owner: Lise Nolan Date: 5-27-26

Inland Wetland Fee Schedule

Residential uses means activities carried out on property developed for permanent housing or being developed to be occupied by permanent housing.

Commercial and industrial uses means activities carried out on property developed for industry, commerce, trade, recreation or business or being developed to be occupied for such purposes, for profit or nonprofit.

Other uses means activities other than residential, commercial or other industrial uses.

Permitted uses as of right	\$0.00
No regulated uses	\$35.00

Regulated Uses

Residential Uses

Single lot	\$125.00
Proposed Subdivisions	\$250.00
Plus \$50.00 per each proposed lot	

Commercial and Industrial Uses

Regulated area	\$250.00
Plus \$25.00 per acre of regulated area	
All other uses	\$150.00
Significant Activity Fee/ Public Hearing Fee	\$350.00
Map Amendment Petitions	\$200.00 plus \$25.00/ acre
Modification of Previous Approval	\$100.00 (Permit Approval)
Transfer of an Existing Permit	\$50.00

No application shall be granted or approved by the Conservation Commission/ Inland Wetland Agency unless the correct application fee is paid in full or unless a waiver has been granted by the Conservation Commission/ Inland Wetland Agency pursuant to subsection 4.14 of the Town Fee Ordinance #09-20-93-134.

**II: ~~CONFIDENTIAL~~
PROTECTION**

79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions- one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): WATERTOWN
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: WOODBURY or number: 63
subregional drainage basin number: 6914
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): MR & MRS ANTONIO MOTTILLO
- NAME & ADDRESS OF ACTIVITY/ PROJECT SITE (print information): "0" STONY BROOK LN
briefly describe the action/project activity (check and print information): temporary permanent description: clearing excavation, fill related to the construction of a single family residence
- ACTIVITY PURPOSE CODE (see instructions - one code only): "A"
- ACTIVITY TYPE CODE(S) (see instructions for codes): 1 2 9 12
- WETLAND /WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): 0.69± acres
- AREA OF WETLANDS /WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED/ COMPLETED: YES NO

JMM WETLAND CONSULTING SERVICES, LLC

23 Horseshoe Ridge Road
Newtown, CT 06482
Phone: 203-364-0345

REPORT DATE: December 17, 2023
PAGE 1 OF 3

ON-SITE SOIL INVESTIGATION REPORT

PROJECT NAME & SITE LOCATION:

Project Site
1 Stoney Brook Lane
Watertown, Connecticut

JMM Job No.: 23-3393-WTR-3

Field Investigation Date(s): 10/11/2023

Field Investigation Method(s):

- Spade and Auger
 Backhoe Test Pits
 Other: _____

REPORT PREPARED FOR:

Ms. Lisa Mottillo
1 Stoney Brook Lane
Watertown, CT 06795

Field Conditions:

Weather: Sunny, 40's
Soil Moisture: Moist
Snow Depth: N/A
Frost Depth: N/A

Purpose of Investigation:

- Wetland Delineation/Flagging in Field
 Wetland Mapping on Sketch Plan or Topographic Plan
 High Intensity Soil Mapping by Soil Scientist
 Medium Intensity Soil Mapping from USDA-NRCS Web Soil Survey Maps
 Other: _____

Base Map Source: USDA-NRCS Web Soil Survey (attached)

Wetland Boundary Marker Series: JMM-1 to JMM-22 (open line)

General Site Description/Comments: The site is located west of Stony Brook Lane, in Watertown, CT. This +/- 4.4-acre undeveloped parcel is comprised of bedrock outcrops and forested upland and wetland areas, which include an intermittent watercourse (see Figure 1, attached). It should be noted at this time, JMM focused its delineations along the eastern portion of the overall site (i.e., JMM Study Area). The soil types within the study area were found to be a mix of undisturbed and disturbed soils. The undisturbed soils are derived from glacial till (i.e., unstratified sand, silt, and rock) deposits. The undisturbed upland soils are comprised of the excessively to somewhat excessively drained Hollis-Chatfield (75) soil series complex and the moderately well drained Sutton (50) soil series. The disturbed upland soils were mapped as the Udorthents (308) mapping unit while the disturbed wetland soils were mapped as the Aquents (308w) mapping unit. The undisturbed wetland soils were identified as the poorly to very poorly drained Ridgebury, Leicester, and Whitman (3) soil series complex. The regulated areas associated with the study area consist of a seasonally saturated to seasonally flooded wooded swamp with an intermittent watercourse located within the western portion of the study area (JMM-#-series). Typical vegetation observed within the regulated area included such species as, red maple, American beech, spicebush, sweet pepperbush, highbush blueberry, sweet birch, highbush blueberry, sedges, cinnamon fern, skunk cabbage, and poison ivy, to name a few.

Kristene Jmmwehlauf.com

ON-SITE SOIL INVESTIGATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: Project Site
1 Stony Brook Lane, Watertown, CT

SOIL MAP UNITSWetland Soils

Ridgebury fine sandy loam (3). This soil series consists of deep, poorly and somewhat poorly drained soils formed in a coarse-loamy mantle underlain by firm, compact glacial till on uplands. They are nearly level to moderately steep soils on till plains, low ridges and drumloidal landforms. The soils formed in acid glacial till derived mainly from schist, gneiss or granite. Typically, these soils have a black sandy loam surface layer 6 inches thick. The mottled subsoil from 6 to 16 inches is olive gray sandy loam. The mottled substratum from 16 to 60 inches is a light olive brown and olive, very firm and brittle gravelly sandy loam.

Leicester fine sandy loam (3). This series, which is some Connecticut counties is found only in complex with the Ridgebury and Whitman series, consists of deep, poorly drained loamy soils formed in friable glacial till on uplands. They are nearly level to gently sloping soils in drainage ways and low-lying positions on till covered uplands. The soils formed in acid glacial till derived mainly from schist, gneiss or granite. Typically, these soils have a surface layer of black fine sandy loam 6 inches thick. The subsoil from 6 to 23 inches is grayish brown, mottled fine sandy loam. The substratum from 26 to 60 inches or more is dark yellowish brown, mottled, friable, gravelly fine sandy loam.

Whitman fine sandy loam (3). This series, which is some Connecticut counties is only mapped in complex with the Ridgebury and Leicester series, consists of deep, very poorly drained soils formed in a coarse-loamy mantle underlain by firm, compact glacial till on uplands. They are nearly level and gently sloping soils on till plains, low ridges and drumloidal landforms. The soils formed in acid glacial till derived mainly from schist, gneiss or granite. Typically, these soils have a black fine sandy loam surface layer 8 inches thick. The mottled subsoil from 8 to 15 inches is gray sandy loam. The mottled substratum from 15 to 60 inches is firm, olive gray to gray dense glacial till.

Aquents (308w). This soil map unit consists of poorly drained and very poorly drained disturbed land areas. They are most often found on landscapes, which have been subject to prior filling and/or excavation activities. In general, this soil map unit occurs where two or more feet of the original soil surface has been filled over, graded or excavated. The *Aquents* are characterized by a seasonal to prolonged high ground water table and either support or are capable of supporting wetland vegetation. *Aquents* are recently formed soils, which have an aquic moisture regime. An aquic moisture regime is associated with a reducing soil environment that is virtually free of dissolved oxygen because the soil is saturated by groundwater or by water of the capillary fringe. The key feature is the presence of a ground water table at or very near to the soil surface for a period of fourteen days or longer during the growing season.

Upland Soils

Hollis fine sandy loam (75). This series consists of shallow, well drained and somewhat excessively drained; loamy soils formed in a thin mantle of friable glacial till over ledge. The depth to bedrock ranges from 10 to 20 inches. They occur on till plains and hills. The soils formed in acid glacial till derived mainly from schist, gneiss or granite. Typically, these soils have a surface layer of dark grayish brown fine sandy loam 3 inches thick. The subsoil from 3 to 14 inches is yellowish brown fine sandy loam. Hard and unweathered bedrock lies under the subsoil.

PROJECT NAME & SITE LOCATION: Project Site
1 Stony Brook Lane, Watertown, CT

SOIL MAP UNITS

Chatfield fine sandy loam (75). This series consists of moderately deep, well drained, and somewhat excessively drained soils formed in till. They are nearly level to very steep soils on glaciated plains, hills, and ridges. Slope ranges from 0 to 70 percent. Crystalline bedrock is at depths of 20 to 40 inches. Permeability is moderate or moderately rapid.

Sutton stony fine sandy loam (50). This series consists of deep, moderately well drained loamy soils formed in friable, glacial till on uplands. They are nearly level to steeply sloping soils on till plains, low ridges and hills, being typically located on lower slopes and in slight depressions. The soils formed in acid glacial till derived mainly from schist, gneiss or granite. Typically, these soils have a surface layer of dark brown fine sandy loam 8 inches thick. The subsoil from 8 to 28 inches is yellowish brown, mottled fine sandy loam and sandy loam. The substratum from 28 to 60 inches or more is light olive brown fine sandy loam.

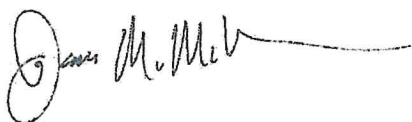
Udorthents (308). This soil mapping unit consists of well drained to moderately well drained soils that have been altered by cutting, filling, or grading. The areas either have had two feet or more of the upper part of the original soil removed or have more than two feet of fill material on top of the original soil. *Udorthents* or Made Land soils can be found on any soil parent material but are typically fluvial on glacial till plains and outwash plains and stream terraces.

Any accompanying soil logs and soil maps, and the on-site soil investigation narrative are in accordance with the taxonomic classification of the National Cooperative Soil Survey of the USDA Natural Resource Conservation Service, and with the Connecticut Soil Legend (DEP Bulletin No.5, 1983). Jurisdictional wetland boundaries were delineated pursuant to the Connecticut General Statutes (CGS Sections 22a-36 to 22a-45), as amended. The site investigation was conducted and/or reviewed by the undersigned Registered Soil Scientist(s) [registered with the Society of Soil Scientists of Southern New England (SSSSNE) in accordance with the standards of the Federal Office of Personnel Management].

All wetland boundary lines established by the undersigned Soil Scientist are subject to change until officially adopted by, local, state, and federal regulatory agencies.

Respectfully submitted,

JMM WETLAND CONSULTING SERVICES, LLC



Proposed Study Area

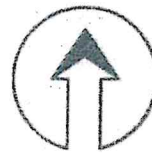


FIGURE 1: 1 Stony Brook

10/8/2023 9:48:15 AM

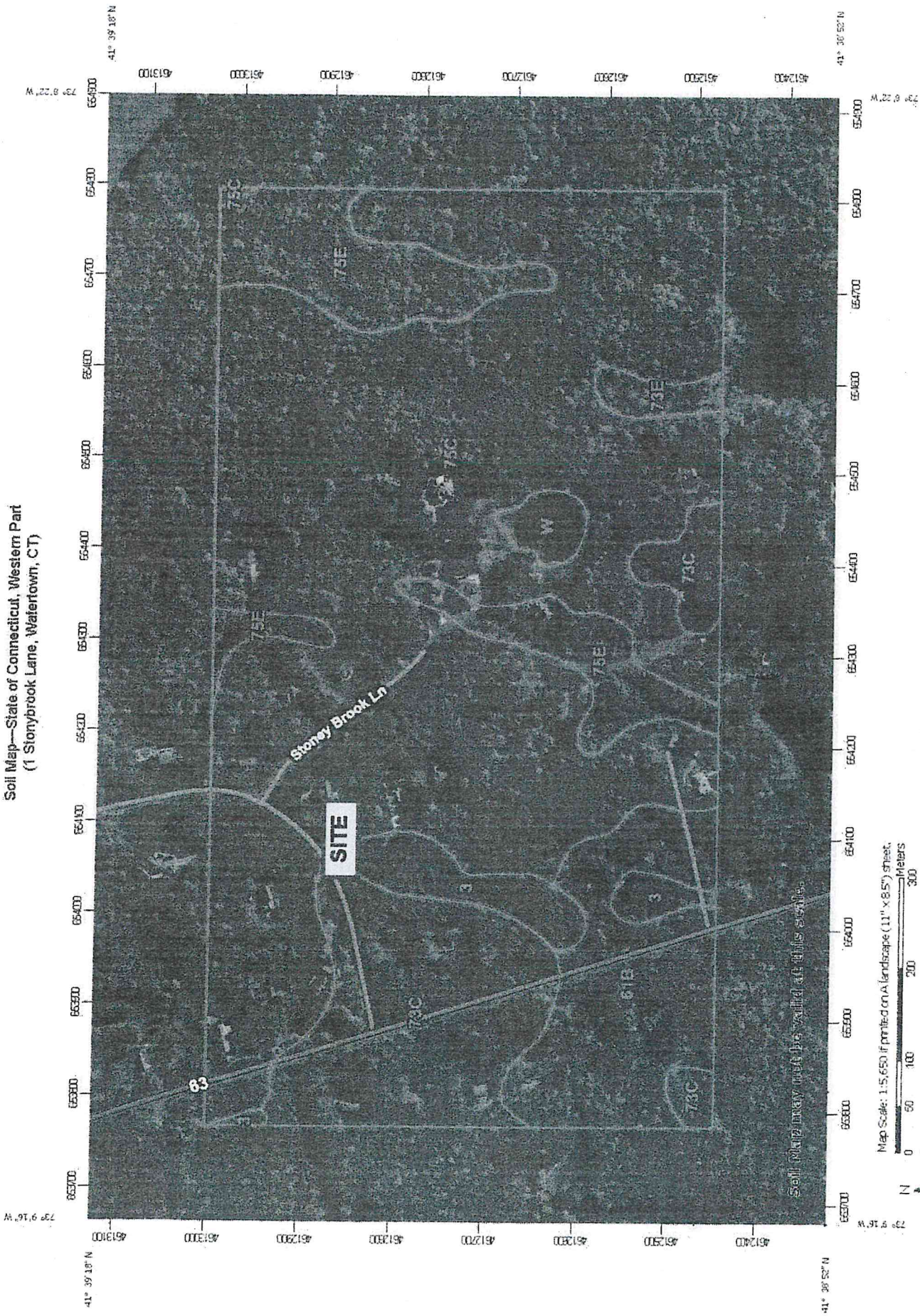
Scale: 1"=200'

Scale is approximate



The information depicted on this map is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel-level analyses.

Soil Map—State of Connecticut, Western Part
(1 Stonybrook Lane, Watertown, CT)



Map Scale: 1:5,650 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator. Corner coordinates: WGS84. Edge files: UTM Zone 18N WGS84

MAP LEGEND

- Area of Interest (AOI)
 - Area of Interest (AOI)
- Soils
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features
 - Streams and Canals
- Transportation
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background
 - Aerial Photography
- Other
 - Spill Area
 - Stony Spot
 - Very Stony Spot
 - Wet Spot
 - Other
 - Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part
Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 21, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres In AOI	Percent of AOI
3	Ridgebury, Leicester, and Whitman soils, 0 to 8 percent slopes, extremely stony	4.7	3.3%
61B	Canton and Charlton fine sandy loams, 0 to 8 percent slopes, very stony	13.5	9.5%
73C	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	18.6	13.1%
73E	Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky	1.4	1.0%
75C	Hollis-Chatfield-Rock outcrop complex, 3 to 15 percent slopes	88.3	62.4%
75E	Hollis-Chatfield-Rock outcrop complex, 15 to 45 percent slopes	13.7	9.7%
W	Water	1.4	1.0%
Totals for Area of Interest		141.5	100.0%

9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N".

- | | |
|---|---|
| A = Residential Improvement by Homeowner | I = Storm Water/ Flood Control |
| B = New Residential Development for Single Family Units | J = Erosion / Sedimentation Control |
| C = New Residential Development for Multi-Family/ Condos | K = Recreation / Boating / Navigation |
| D = Commercial / Industrial Uses | L = Routine Maintenance |
| E = Municipal Project | M = Map Amendment |
| F = Utility Company Project | N = State Agency Project |
| G = Agriculture, Forestry or Conservation | P = Other (this code includes the approval of concept, subdivision or similar plans with no oil-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation | |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You-MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- | | |
|--|---|
| 1 = Filling | 8 = Underground Utilities Only (no other activities) |
| 2 = Excavation | 9 = Roadway/ Driveway Constructio11 (including related culverts) |
| 3 = Land Clearing (Grubbing (no other activity)) | 10 = Drainage Improvements |
| 4 = Stream Channelization | 11 = Pond, Lake Dredging/ Dam Construction |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area |
| 6 = Stream Clearance (removal of debris only) | 14 = Activity in Upland |
| 7 = Culverting (not for roadways) | |

Examples: Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.

13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

PART 111: To Be Completed By The DEEP - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

Inland Wetland Fee Schedule

Residential uses means activities carried out on property developed for permanent housing or being developed to be occupied by permanent housing.

Commercial and industrial uses means activities carried out on property developed for industry, commerce, trade, recreation or business or being developed to be occupied for such purposes, for profit or nonprofit.

Other uses means activities other than residential, commercial or other industrial uses.

Permitted uses as of right \$0.00

No regulated uses \$35.00

Regulated Uses

Residential Uses

Single lot \$125.00

Proposed Subdivisions \$250.00

Plus \$50.00 per each proposed lot

Commercial and Industrial Uses

Regulated area \$250.00

Plus \$25.00 per acre of regulated area

All other uses \$150.00

Significant Activity Fee/ Public Hearing Fee \$350.00

Map Amendment Petitions \$200.00 plus \$25.00/ acre

Modification of Previous Approval \$100.00 (Permit Approval)

Transfer of an Existing Permit \$50.00

No application shall be granted or approved by the Conservation Commission/ Inland Wetland Agency unless the correct application fee is paid in full or unless a waiver has been granted by the Conservation Commission/ Inland Wetland Agency pursuant to subsection 4.14 of the Town Fee Ordinance #09-20-93-134.



SPOT Flaus en worksheet Fieldwork 6/26/25



AREA MAP (NOT TO SCALE)

N/F
 MBL: 14-26B-2B
 DOMENIC ANTHONY &
 KELLY ANN GARDINO
 (64 STONYBROOK LN)
 VOL. 2329 PG. 108

MBL: 14-26C-1
 AREA = 194,643± S.F.
 = 4.47± ACRES

N/F
 MBL: 14-26-14
 ANNE M. PALIULIS
 (1742 LITCHFIELD RD)
 VOL. 1412 PG. 275

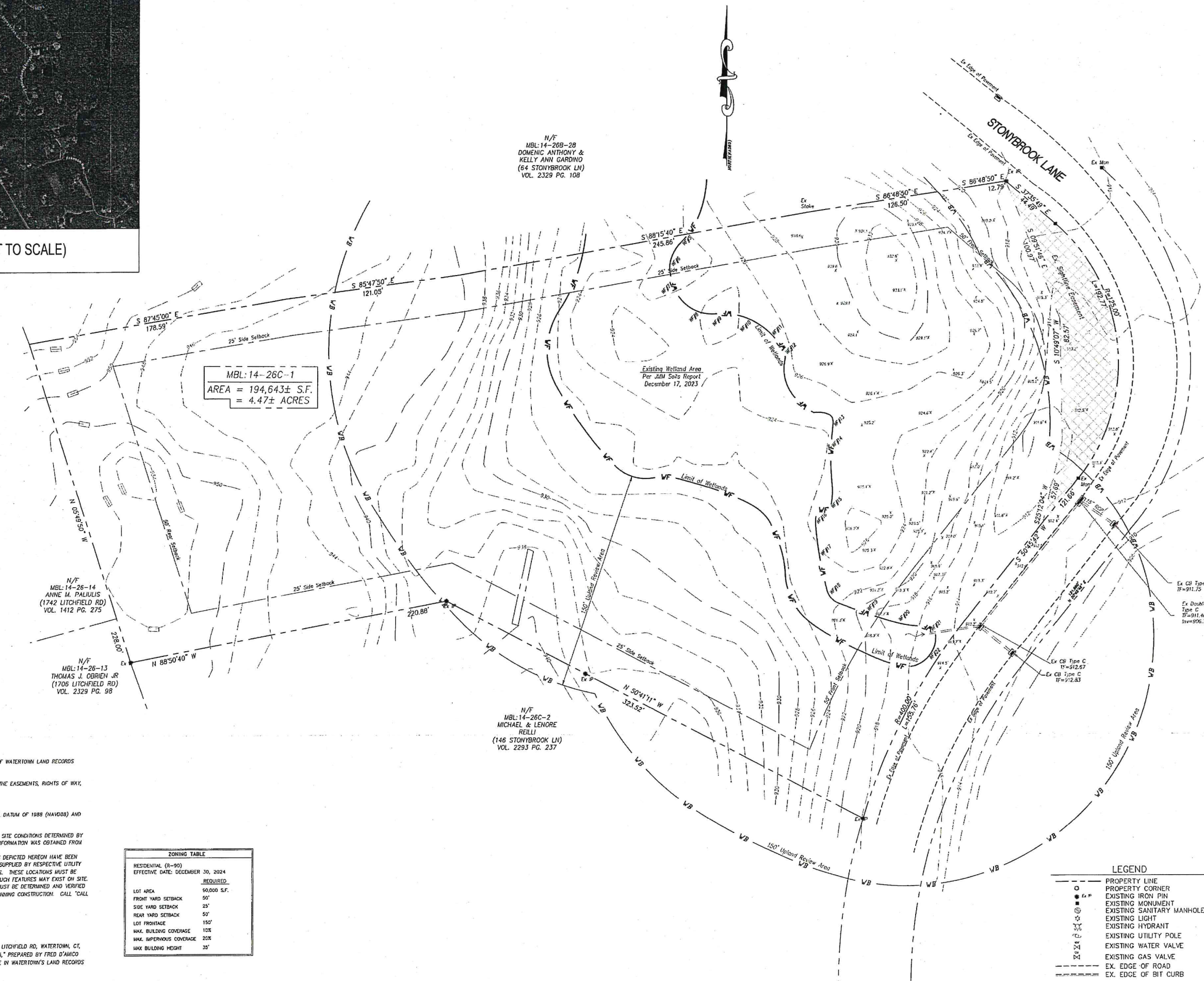
N/F
 MBL: 14-26-13
 THOMAS J. O'BRIEN JR
 (1706 LITCHFIELD RD)
 VOL. 2329 PG. 98

N/F
 MBL: 14-26C-2
 MICHAEL & LENORE
 REILLI
 (146 STONYBROOK LN)
 VOL. 2293 PG. 237

- NOTES:
1. PARCEL OWNER: ANTONIO & LISA MOTTILLO
 - SEE WARRANTY DEED IN VOL. 2303 AT PG 251 AT TOWN OF WATERTOWN LAND RECORDS
 2. ADDRESS: 0 STONYBROOK LANE, WATERTOWN, CT
 3. ZONE: RESIDENTIAL (R-90)
 4. THE SUBJECT PARCEL MAY BE SUBJECT TO OR BENEFIT BY THE EASEMENTS, RIGHTS OF WAY, AND/OR AGREEMENTS AS MAY APPEAR ON RECORD:
 A. SEE MAP REFERENCE "A".
 5. BEARINGS ARE REFERENCED TO MAP REFERENCE "A".
 6. ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND DETERMINED BY GNSS RTK READINGS.
 - CONTOUR INTERVAL IS 2'-FOOT
 7. THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY JUNE 27, 2025. RECORD TITLE AND ADJACENT INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS MAY 26, 2025.
 8. UNDERGROUND UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES, AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE. THE EXISTENCE, SIZE, AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" AT 811 OR 1-800-922-4455.

ZONING TABLE	
RESIDENTIAL (R-90)	
EFFECTIVE DATE: DECEMBER 30, 2024	
	REQUIRED
LOT AREA	60,000 S.F.
FRONT YARD SETBACK	50'
SIDE YARD SETBACK	25'
REAR YARD SETBACK	50'
LOT FRONTAGE	150'
MAX. BUILDING COVERAGE	10%
MAX. IMPERVIOUS COVERAGE	20%
MAX. BUILDING HEIGHT	35'

MAP REFERENCES:
 A. MAP ENTITLED "HIDDEN POND ESTATES, ROBERT PECCO, 1670 LITCHFIELD RD, WATERTOWN, CT, 06759, SCALE 1"=100', DATED 4-4-94, LAST REVISED 7-12-95," PREPARED BY FRED D'AMICO P.E., L.S., 631 BUCKS HILL RD, SOUTHBRURY, CT, 06488. ON FILE IN WATERTOWN'S LAND RECORDS AS MAP#2775.



Disclaimer:
 The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION-2:	
REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1:	

PROJECT: 225088-MOTTILLO
 DR:RAG SR:RAG DR:JWS

SURVEY NOTES:
 THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.
 BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
 THIS SURVEY CONFORMS TO CLASS A-2.
 TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James M. Schuchert
 James M. Schuchert
 C.T.P.E. & L.S. #11802

SEAL: THIS SHALL NOT BE CONSIDERED A SEALED DOCUMENT WITHOUT A LIVE HAND PLACED SEAL AND SIGNATURE.

kratzer, KJA
jones & associates, inc.
 CIVIL ENGINEERS - LAND SURVEYORS
 SITE PLANNERS - BUILDING ENGINEERS

P.O. BOX 337
 1755 MERRICK-WATERBURY RD.
 MILDFALE, CT 06467-0337

PHONE: (860) 621-2638
 FAX: (860) 621-9609
 EMAIL: INFO@KRATZERTJONES.COM

EXISTING CONDITIONS MAP

for
ANTONIO & LISA MOTTILLO

MBL: 14-26C-1
 STONYBROOK LANE,
 WATERTOWN, CT

SCALE: 1"=30'
 DATE: MAY 21, 2026

HALF ONE INCH TWO INCH
 INCHES OR ORIGINAL

KJA FILE NO.: 225-088
 DRAWING NO.: E-1

SOIL TEST PIT DATA
 PIT TP A DATE 4/23/26
 0'-6" FOREST LITTER
 6"-44" DARK BROWN FINE SILTY LOAM W/SILT
 44"-84" OLIVE COARSE SAND W/CORBBLES
 84" BREAKABLE LEDGE

MOTTLES: NONE
GW: NONE
LEDGE: BREAKABLE LEDGE 084"
ROOTS: 44"
RESTRICTIVE: NONE

PIT TP B DATE 4/23/26
 0'-11" TOPSOIL
 11"-54" DARK BROWN FINE SILTY LOAM W/SILT
 54"-80" OLIVE COARSE SAND W/CORBBLES
 80" BREAKABLE LEDGE

MOTTLES: NONE
GW: NONE
LEDGE: BREAKABLE LEDGE 080"
ROOTS: 48"
RESTRICTIVE: NONE

ZONING TABLE		
RESIDENTIAL (R-90)		
EFFECTIVE DATE: DECEMBER 30, 2024		
	REQUIRED	PROPOSED
LOT AREA	90,000 S.F.	194,643± S.F.
FRONT YARD SETBACK	50'	98.9'
SIDE YARD SETBACK	25'	30.0'
REAR YARD SETBACK	50'	555.8'
LOT FRONTAGE	150'	814.69'
MAX. BUILDING COVERAGE	10%	2.5%
MAX. IMPERVIOUS COVERAGE	20%	4.3%
MAX. BUILDING HEIGHT	35'	26'±

SEE DETAIL SHEET (D-1) FOR SITE DETAILS

SEE EXISTING CONDITIONS MAP (E-1) FOR BOUNDARY INFORMATION

N/F
 MBL: 14-26B-28
 DOMENIC ANTHONY &
 KELLY ANN GARDINO
 (64 STONYBROOK LN)
 VOL. 2329 PG. 108

SEPTIC SYSTEM SPECIFICATIONS:

LEACHING SYSTEM: DESIGNED FOR PERCOLATION RATE OF LESS THAN 10.1 MIN./INCH. 100' OF 12" HIGH DOUBLE SIDE-BY-SIDE "QUICKS" UNITS PROVIDING 590 S.F. OF EFFECTIVE LEACHING AREA (577.5 S.F. REQUIRED) SHALL BE CONSTRUCTED AS SHOWN ON THIS PLOT PLAN AND KRATZERT & JONES DETAIL SHEET. A 1,250 GALLON DOUBLE CHAMBERED SEPTIC TANK SHALL BE PROVIDED, MEETING THE REQUIREMENTS OF THE STATE PUBLIC HEALTH CODE. "QUICKS" TO BE LAID ALONG FINAL GRADES. GRADE TO DIRECT WATER AWAY FROM HOUSE & SYSTEM. NOTIFY THE TOWN HEALTH DEPARTMENT PRIOR TO CONSTRUCTION, AT LEAST 24 HOURS IN ADVANCE. SEPTIC TANK TO BE CLEANED AT LEAST EVERY THREE YEARS OR AS OFTEN AS NECESSARY.

NOTES:

1. PARCEL OWNER: ANTONIO & LISA MOTTILLO
 - SEE WARRANTY DEED IN VOL. 2303 AT PG. 251 AT TOWN OF WATERTOWN LAND RECORDS
2. ADDRESS: 0 STONYBROOK LANE, WATERTOWN, CT
3. ZONE: RESIDENTIAL (R-90)
4. THE SUBJECT PARCEL MAY BE SUBJECT TO OR BENEFIT BY THE EASEMENTS, RIGHTS OF WAY, AND/OR AGREEMENTS AS MAY APPEAR ON RECORD.
5. SEE MAP REFERENCE "A".
6. ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AND DETERMINED BY GNSS RTK READINGS.
 - CONTOUR INTERVAL IS 2'-FOOT
7. THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY JUNE 27, 2025. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS MAY 26, 2025.
8. UNDERGROUND UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES, AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE. THE EXISTENCE, SIZE, AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" AT 811 OR 1-800-922-4455.

SEPTIC SYSTEM INVERT ELEVATIONS:

INVERT AT FOUNDATION WALL=	923.00
INVERT AT SEPTIC TANK IN=	920.35
OUT=	920.10
INVERT OF D. BOX #1 (IN)=	918.70
SERVING SYSTEM (OUT)=	918.70
SERVING D. BOX #2 (OUT)=	918.87
INVERT OF SYSTEM=	918.67
BOTTOM OF SYSTEM=	918.00
TOP OF SYSTEM=	919.00
INVERT OF D. BOX #2 (IN)=	916.70
SERVING SYSTEM (OUT)=	916.70
SERVING RESERVE (OUT)=	916.87
INVERT OF SYSTEM=	916.67
BOTTOM OF SYSTEM=	916.00
TOP OF SYSTEM=	917.00

GENERAL NOTES:

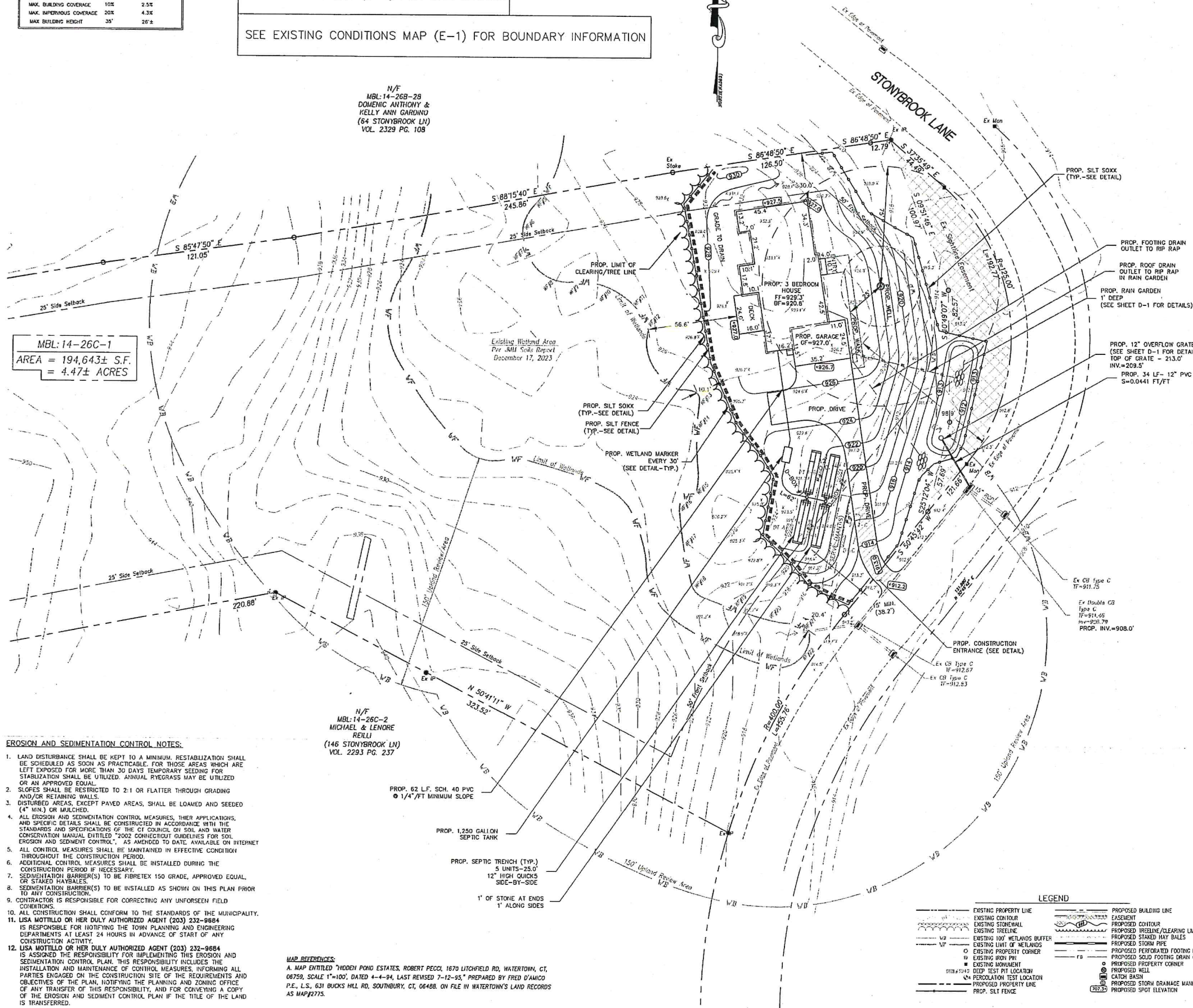
1. SETBACK REQUIREMENTS: R-90 (SEE ZONING TABLE)
2. SYSTEM DESIGNED FOR: 4 BEDROOMS
3. NUMBER OF BEDROOMS IN HOUSE: 4 + 1 GARBAGE DISPOSAL
4. LOT TO BE SERVED BY: PRIVATE WELL & SEPTIC SYSTEM.
5. RESERVE: 55.0' OF ELVEN MANTIS 536-8 UNITS PROVIDING 605 S.F. OF EFFECTIVE LEACHING AREA
6. INSTALL EROSION CONTROL, STRIP TOPSOIL, STOCKPILE, AND INSTALL SYSTEM.
7. TOPSOIL TO BE STRIPPED AND STOCKPILED. AREA OVER SYSTEM SHALL BE SCARIFIED, PRIOR TO PLACEMENT OF SEPTIC FILL (IF A FILL SYSTEM).
8. IF DIFFERENT SOIL RESULTS ARE OBSERVED DURING CONSTRUCTION, IMMEDIATELY NOTIFY THE DESIGN ENGINEER AT KRATZERT, JONES & ASSOC., INC. AT 821-3638.
9. SYSTEM TO BE INSTALLED ACCORDING TO PROPOSED ELEVATIONS.
10. SYSTEM TO BE INSPECTED BY SANITARIAN PRIOR TO BACKFILLING.
11. GRADE SO AS TO DIRECT WATER AWAY FROM HOUSE AND SYSTEM.
12. ALL EFFLUENT DISTRIBUTION PIPE TO BE 4" PVC ASTM D3034, SDR 35 OR APPROVED EQUAL. PIPE BETWEEN HOUSE AND TANK TO BE 4" C.I. OR 4" PVC. ASTM D-1785/SCH-40.
13. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES, AND DETAILS PRIOR TO CONSTRUCTION.
14. CALL BEFORE YOU DIG AT 1-800-922-4455.
15. DESIGN ENGINEER (P.E.) SHALL SUBMIT AN "AS-BUILT" SKETCH TO THE HEALTH DEPARTMENT OF THE SEPTIC SYSTEM UPON COMPLETION.
16. TIGHT JOINT FOOTING DRAIN PIPE SHALL BE SDR 35 (ASTM D-3034) 6" SOLID PIPE OR APPROVED EQUAL IF WITHIN 25' OF PROPOSED SEPTIC SYSTEM.
17. CONTRACTOR AND/OR WORKERS SHALL NOT DRIVE OVER OR PARK ANY EQUIPMENT OR VEHICLES OVER THE SYSTEM AREA OR DOWN GRADIENT OF THE SYSTEM. THE SEPTIC INSTALLER MAY DO SO, ONLY DURING CONSTRUCTION OF THE SYSTEM.
18. A FOOTING DRAIN IS PROPOSED.
19. CONSTRUCTION OF THE SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION OF THE SYSTEM.
20. SET BENCHMARK AT TIME OF STAKEOUT. ADDITIONAL BENCHMARK NEAR SYSTEM TO BE SET AT TIME OF STAKEOUT.
21. NO KNOWN POLLUTION SOURCE IS WITHIN 75' OF PROPOSED WELL (ALL ADJACENT WELLS AND SEPTIC SYSTEMS ARE OVER 75' AWAY.)
22. DOMESTIC WELL SHALL BE 25' FROM PERFORATED FOOTING DRAINS.
23. ANY DAMAGE TO CURB OR ROADWAY TO BE RESTORED TO TOWN STANDARDS.
24. FOOTING DRAIN OUTLET AND ROOF LEADER OUTLET MUST BE SEPARATE LINES. GARBAGE DISPOSAL IS NOT RECOMMENDED. IF A GARBAGE DISPOSAL IS INSTALLED, THE SEPTIC TANK SIZE WILL HAVE TO BE INCREASED BY 250 GALLONS TO ACCOMMODATE THE GARBAGE DISPOSAL SYSTEM TO BE INSTALLED BY LICENSED INSTALLER.
25. ANY REGULATED ACTIVITY IN A DESIGNATED INLAND WETLANDS NOT A PART OF THIS PLAN SHALL REQUIRE A SEPARATE INLAND WETLAND PERMIT.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE. FOR THOSE AREAS WHICH ARE LEFT EXPOSED FOR MORE THAN 30 DAYS TEMPORARY SEEDING FOR STABILIZATION SHALL BE UTILIZED. ANNUAL RYEGRASS MAY BE UTILIZED OR AN APPROVED EQUAL.
2. SLOPES SHALL BE RESTRICTED TO 2:1 OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED AND SEEDED (4" MIN.) OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THEIR APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE, AVAILABLE ON INTERNET.
5. ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY.
7. SEDIMENTATION BARRIER(S) TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
8. SEDIMENTATION BARRIER(S) TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORSEEN FIELD CONDITIONS.
10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
11. LISA MOTTILLO OR HER DULY AUTHORIZED AGENT (203) 232-9864 IS RESPONSIBLE FOR NOTIFYING THE TOWN PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
12. LISA MOTTILLO OR HER DULY AUTHORIZED AGENT (203) 232-9864 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.

MAP REFERENCES:

A. MAP ENTITLED "ROCKY POND ESTATES, ROBERT PECCI, 1670 LITCHFIELD RD, WATERTOWN, CT, 06759, SCALE 1"=100', DATED 4-4-94, LAST REVISED 7-12-95," PREPARED BY FRED D'AMICO P.E., L.S., 631 BUCKS HILL RD, SOUTHBRIDGE, CT, 06488. ON FILE IN WATERTOWN'S LAND RECORDS AS MAP 2775.



Disclaimer:
 The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise of such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

REVISION NO.	DATE	DESCRIPTION
REVISION-7		
REVISION-6		
REVISION-5		
REVISION-4		
REVISION-3		
REVISION-2		
REVISION-1		

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 1755 MERIDEN-WATERBURY RD.
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PHONE: (860) 621-3638
 FAX: (860) 621-9609
 EMAIL: INFO@KRATZERTJONES.COM

PROPOSED IMPROVEMENT LOCATION MAP

for
ANTONIO & LISA MOTTILLO

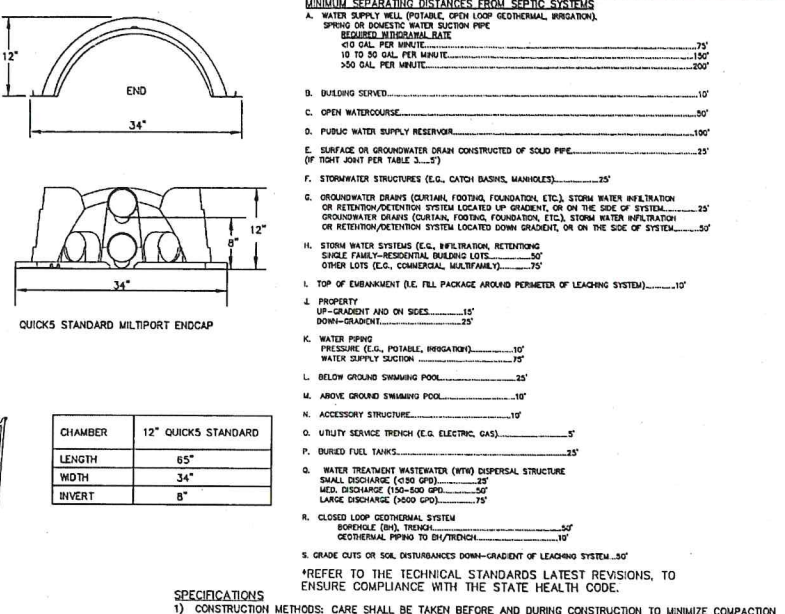
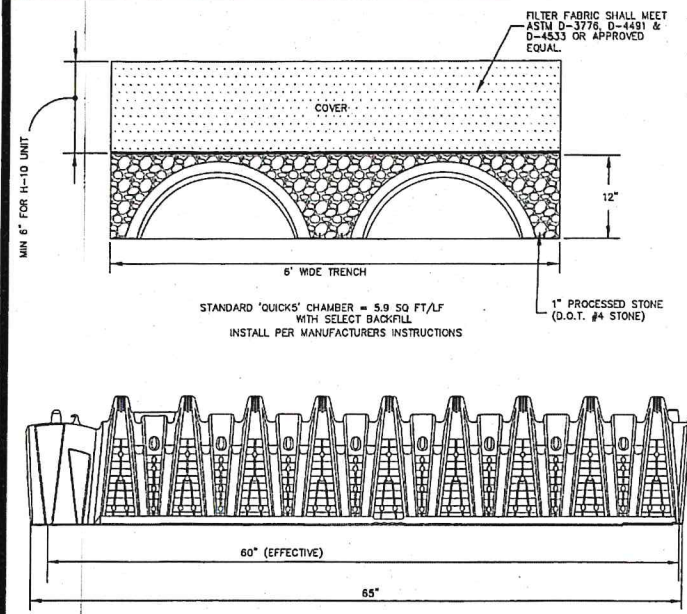
MBL: 14-26C-1
 STONYBROOK LANE,
 WATERTOWN, CT

SCALE: 1" = 30'

DATE: MAY 21, 2026

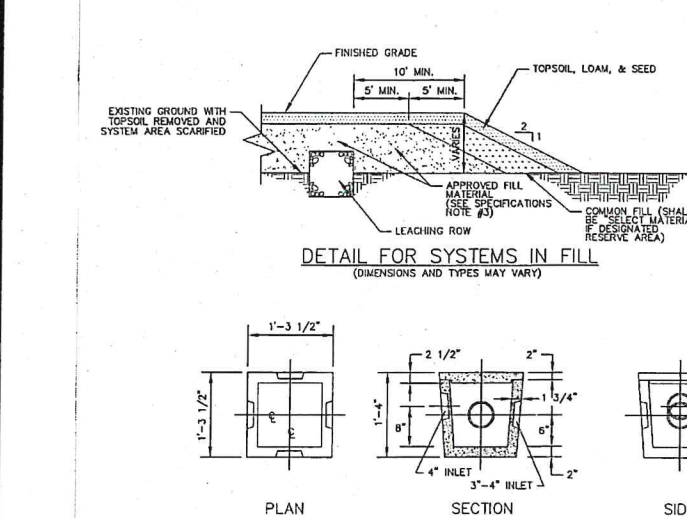
HALF ONE INCH TWO INCH INCHES ON ORIGINAL

KJA FILE NO.: 225-088
 DRAWING NO.: PL-1

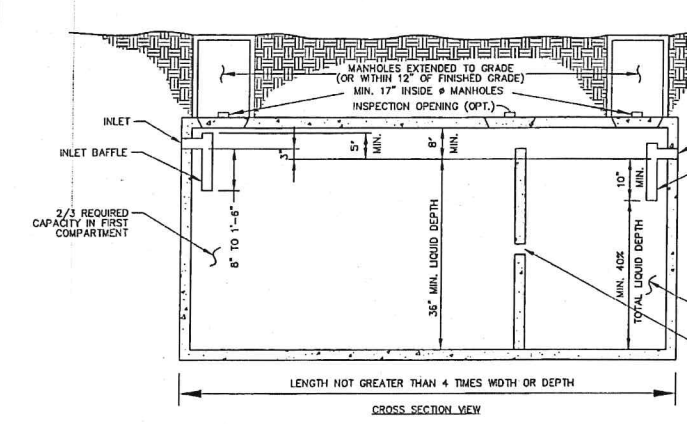


NOTE: ENGINEER REQUIRES TWO SEPARATE DISTRIBUTION PIPES TO SERVE EACH ROW OF 'QUICKS' THAT ARE INSTALLED SIDE-BY-SIDE!

STANDARD 'QUICKS' CHAMBER SIDE-BY-SIDE TRENCH DESIGN
(DIMENSIONS MAY VARY)



DISTRIBUTION BOX DETAIL
(DIMENSIONS AND TYPES MAY VARY)



1. CONCRETE SEPTIC TANK CONSTRUCTION SHALL CONFORM TO ASTM C-1227.
2. ALL NEW TANK SHALL HAVE MANHOLE COVERS WHICH HAVE BEEN PLACATED WITH NOTIFICATION OF ITS TWO COMPARTMENT CONSTRUCTION AND A WARNING THAT ENTRANCE INTO TANK COULD BE FATAL.

DOUBLE CHAMBER SEPTIC TANK DETAIL
(DIMENSIONS AND TYPES MAY VARY)

MINIMUM SIZE:
3 BEDROOMS - 1000 GALLONS
4 BEDROOMS - 1250 GALLONS
5 BEDROOMS - 1500 GALLONS
NOTE: ALL SEPTIC TANKS INSTALLED AFTER JANUARY 1, 1990

James Sakonchick

MINIMUM SEPARATING DISTANCES FROM SEPTIC SYSTEMS

- WATER SUPPLY WELL (POTABLE, OPEN LOOP GEOTHERMAL IRRIGATION), SPRING OR DOMESTIC WATER SUPPLY PIPE (ELEVATED, BURIED, ETC.)
10 TO 30 GAL PER MINUTE: 75'
10 TO 50 GAL PER MINUTE: 100'
>50 GAL PER MINUTE: 200'
- BUILDING SERVED: 10'
- OPEN WATERCOURSE: 50'
- PUBLIC WATER SUPPLY RESERVOIR: 100'
- SURFACE OR GROUNDWATER DRAIN CONSTRUCTED OF SOLID PIPE (IF TIGHT JOINT PER TABLE 3.1.1): 25'
- STORMWATER STRUCTURES (E.G., CATCH BASINS, MANHOLES): 25'
- GROUNDWATER DRAINS (CURTAIN, FOOTING, FOUNDATION, ETC.) STORM WATER INFILTRATION OR RETENTION/DETENTION SYSTEMS LOCATED UP GRADIENT OR ON THE SIDE OF SYSTEM: 25'
GROUNDWATER DRAINS (CURTAIN, FOOTING, FOUNDATION, ETC.) STORM WATER INFILTRATION OR RETENTION/DETENTION SYSTEMS LOCATED DOWN GRADIENT OR ON THE SIDE OF SYSTEM: 50'
- STORM WATER SYSTEMS (E.G., INFILTRATION, RETENTION, SOAK PITS, SAND TRAPS, SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES): 25'
- PROPERTY UP-GRADE AND ON SLOPES: 25'
DOWN-GRADE: 25'
- WATER PIPING PRESSURE (E.G., POTABLE, PROGRAM): 10'
WATER SUPPLY SUCTION: 10'
- BELOW GROUND SWIMMING POOL: 25'
- ABOVE GROUND SWIMMING POOL: 10'
- ACCESSORY STRUCTURE: 10'
- UTILITY SERVICE TRENCH (E.G. ELECTRIC, GAS): 5'
- BURIED FUEL TANKS: 25'
- WATER TREATMENT WASTEWATER (WITH) DISPERSAL STRUCTURE SHALL DISCHARGE (1000 GPD): 25'
MED. DISCHARGE (100-1000 GPD): 25'
LARGE DISCHARGE (1000 GPD): 75'
- CLOSED LOOP GEOTHERMAL SYSTEM BOREHOLE (DRILL) TRENCH: 10'
GEOTHERMAL PIPING TO DRILL/TRENCH: 10'
- GRADE CUTS OR SOIL DISTURBANCES DOWN-GRADE OF LEACHING SYSTEM: 30'

*REFER TO THE TECHNICAL STANDARDS LATEST REVISIONS, TO ENSURE COMPLIANCE WITH THE STATE HEALTH CODE.

SPECIFICATIONS

- CONSTRUCTION METHODS: CARE SHALL BE TAKEN BEFORE AND DURING CONSTRUCTION TO MINIMIZE COMPACTION AND DISTURBANCE OF THE EXISTING GROUND. SOIL CONDITIONS SHALL BE DRY DURING CONSTRUCTION. BOTTOM AND SIDES OF TRENCHES TO BE RAKED TO A DEPTH OF ONE INCH AND LOOSE MATERIAL REMOVED BEFORE PLACING STONE.
- FINAL GRADING AND ROOF WATER: FINAL GRADING SHALL BE DONE IN A MANNER THAT WILL PROTECT THE SYSTEM FROM SURFACE WATER INFILTRATION. THE ENTIRE AREA OF THE SYSTEM SHALL BE IMMEDIATELY SEEDED TO A THICK COVER. ALL ROOF DRAINAGE WATER SHALL BE DIRECTED AWAY FROM LEACHING SYSTEM AS SHOWN ON PLAN.
- "SELECT FILL MATERIAL" AND "SELECT BACKFILL MATERIAL", PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPRISED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA.
 - THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE.
 - UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
 - THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
 - THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

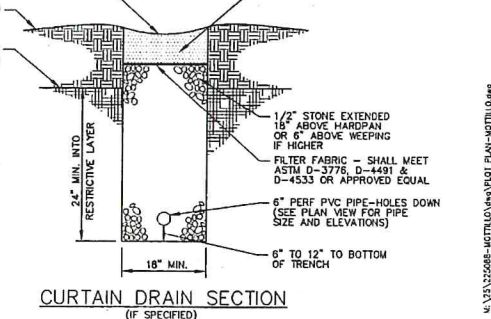
SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100	100
#10	70-100	70-100
#40	10-50*	10-75
#100	0-20	0-5
#200	0-5	0-2.5

NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

4) MAINTENANCE: SEPTIC TANK TO BE CLEANED EVERY 3 YEARS.
5) SEPTIC SYSTEM PIPE MATERIAL: CONTRACTOR SHALL REFER TO THE "ACCEPTED SEWER PIPE" TABLES IN THE LATEST EDITION OF THE STATE HEALTH CODE AND/OR LOCAL SANITARIAN TO ENSURE THE PROPER PURCHASE AND INSTALLATION OF ALL PIPING MATERIALS.

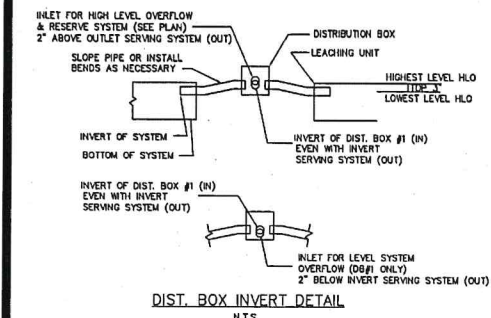
INSTALLERS NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL OBTAIN A "PERMIT TO INSTALL SYSTEM" FROM THE LOCAL HEALTH DEPARTMENT/DISTRICT.
- PROPOSED CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE, AS AMENDED.
- IF FIELD CONDITIONS (LEDGE, GROUNDWATER, MOTILING, ETC.) ARE ENCOUNTERED AT SHALLOWER DEPTHS THAN SHOWN IN THE DEEP TEST HOLE RESULTS, THE SANITARIAN AND DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND CONSTRUCTION HALTED UNTIL DIRECTED FURTHER.
- THE DESIGN ENGINEER SHALL BE CONTACTED, PRIOR TO BACKFILLING THE SEPTIC SYSTEM, TO TAKE NECESSARY MEASUREMENTS FOR THE PREPARATION OF A CERTIFIED "AS-BUILT" DRAWING OF THE SEPTIC SYSTEM CONSTRUCTION. A COPY OF THE CERTIFIED "AS-BUILT" DRAWING MUST BE SUBMITTED TO THE LOCAL HEALTH DEPT. FOR REVIEW AND FINAL APPROVAL OF THE SEPTIC SYSTEM. (SEE NOTE #7)
- NO DEVIATIONS FROM THE APPROVED DESIGN SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LOCAL HEALTH DEPARTMENT AND THE DESIGN ENGINEER.
- THE TOWN SANITARIAN SHALL BE NOTIFIED AFTER THE FOLLOWING (AS APPLICABLE PER THE HEALTH DEPARTMENT/DISTRICT) FOR INSPECTION:
A. PLACEMENT OF FILL MATERIAL.
B. INSTALLATION OF LEACHING SYSTEM.
NO PORTION OF THE SEPTIC SHALL BE COVERED UNTIL APPROVED BY THE TOWN SANITARIAN.
7. IF ENGINEER IS REQUIRED TO PERFORM THE "AS-BUILT" SURVEY OF SEPTIC SYSTEM BY THE HEALTH DEPARTMENT/DISTRICT, CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST THREE WORKING DAYS PRIOR TO BACKFILLING PROPOSED SEPTIC SYSTEM COMPONENTS ARE VISIBLE.
8. THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA "SELECT" MATERIAL IS THAT OF THE LICENSED INSTALLER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVER COMPACTION AND SILTATION ONCE EXPOSED.



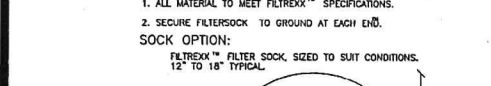
SUBSURFACE SEWAGE DISPOSAL SYSTEM DETAILS FOR 12" HIGH STANDARD 'QUICKS' CHAMBER
INSTALLED SIDE-BY-SIDE
DETAILS APPLICABLE WHERE INDICATED ON PLAN

KRATZERT, JONES & ASSOC. INC.
CIVIL ENGINEERS - LAND SURVEYORS - SITE PLANNERS - BUILDING ENGINEERS
1755 MERIDEN-WATERBURY TURNPIKE, MILLDALE, CT. TEL 621-3638

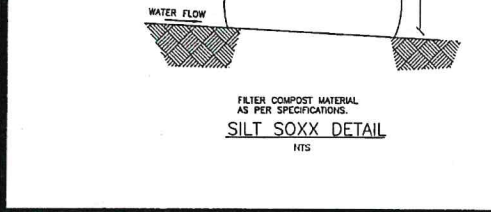


NOTE: THE OUTLET INVERT OF THE TANK SHALL BE SET AT A HIGHER ELEVATION THAN THE TOP OF ALL LEACHING STRUCTURES (EXCEPT IN A PUMP SYSTEM), OR IN THE CASE OF LEACHING SYSTEMS UTILIZING SERIAL DISTRIBUTION HIGHER THAN THE HIGH-LEVEL OVERFLOW ELEVATION OF THE UPPER MOST LEACHING SYSTEM ROW. LEACHING SYSTEMS DESIGNED FOR SERIAL DISTRIBUTION SHALL BE DESIGNED SO THAT THE HIGH-LEVEL OVERFLOW INVERT ELEVATIONS ARE WITHIN THE TOP 3 INCHES (0.25 FEET) OF THE LEACHING STRUCTURE (TRENCH, GALLERY, ETC.).

NOTES:
1. ALL MATERIAL TO MEET FILTEREX™ SPECIFICATIONS.
2. SECURE FILTERSOX TO GROUND AT EACH END.



SILT SOXX DETAIL
N.T.S.

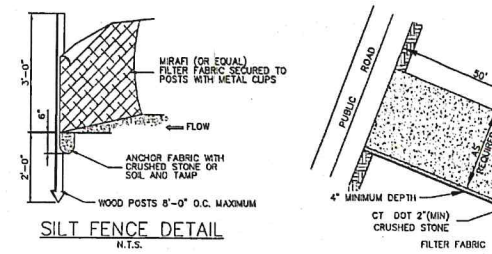


OVERFLOW GRATE STRUCTURE FOR RAIN GARDENS
N.T.S.



RAIN GARDEN
N.T.S.

NOTE: RAIN GARDENS TO BE CONSTRUCTED AND PLANTED IN CONFORMANCE WITH "RAIN GARDENS IN CONNECTICUT: A DESIGN GUIDE FOR HOMEOWNERS" AS PREPARED BY THE UCONN COOPERATIVE EXTENSION SYSTEM.



SILT FENCE DETAIL
N.T.S.



CONSTRUCTION ENTRANCE DETAIL
N.T.S.



WETLAND MARKER
N.T.S.

INLAND WETLANDS MARKERS TO BE INSTALLED PRIOR TO STARTING CONSTRUCTION-PURCHASE MARKERS FROM QUALITY NAME PLATE, INC. 860-633-7495 860-633-4391 FAX PLATE SAME AS ORDER NUMBER. 0 STEP ORDER THROUGH OTHER CONTACT OF TOWN OF WATERTOWN PLANNING DEPARTMENT AND INSTALL ALONG FINAL WETLANDS BOUNDARIES EVERY 30 FEET ON CENTERS FOR ALL AREAS OF WETLANDS WITHIN 100 FEET OF ANY AREA TO BE DISTURBED BY CONSTRUCTION.

INSTALL ON EXISTING TREES (IF AVAILABLE) 7" ABOVE THE GROUND.
IF TREES ARE NOT AVAILABLE INSTALL 40" ABOVE GROUND ON DOT METAL SIGN POSTS OR DR 4X4 TREATED WOOD POSTS.

INLAND WETLANDS MARKER

RAIN GARDEN SUGGESTED PLANTING LIST

- SWAMP AZALEA
- CARDINAL FLOWER
- NEW YORK ASTER
- BUCK-EYED SUSAN
- IRIS
- JOE PYEWEED
- LANCELEAF COREOPSIS
- ROYAL FERN
- ASTILBE
- SWITCH GRASS

SOURCE: RAIN GARDENS IN CONNECTICUT: A DESIGN GUIDE FOR HOMEOWNERS FROM THE UCONN COOPERATIVE EXTENSION SYSTEM

RAIN GARDEN DESIGN TABLE

RAIN GARDEN SIZED FOR 1.3" OVER IMPERVIOUS AREA
RAIN GARDEN SIZE = 1.3/12 IMPERVIOUS AREA FOR A 1" DEEP RAIN GARDEN

RAIN GARDEN #1
PROP. IMPERVIOUS AREA (HOUSE ROOF AND DRIVEWAY) = 5,247 S.F.
REQUIRED RAIN GARDEN SIZE: (0.347 S.F. x 1.3)/12 = 904 S.F.
PROPOSED RAIN GARDEN SIZE = 914 S.F.

SOURCE: RAIN GARDENS IN CONNECTICUT: A DESIGN GUIDE FOR HOMEOWNERS FROM THE UCONN COOPERATIVE EXTENSION SYSTEM

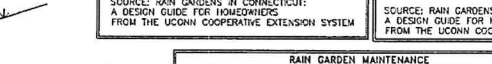
RAIN GARDEN MAINTENANCE

Short Term

- Although native plants have low fertilizer and water needs once established, they will need care in the short term. After planting, the plants should get an inch of water per week. If it does not rain, provide supplemental irrigation for 1-2 months, or longer if drought conditions exist.
- Inspect the area(s) where water enters and exits the garden for erosion. Make repairs as necessary, and add extra stones if needed to dissipate energy.
- Remove any weeds or invasive species that may start to grow in the garden.

Long Term

- Remove any dead branches from shrubs or trees, and dead vegetation from perennials and grasses. Depending on the look that you want from your garden, you can prune shrubs to keep them smaller, or let them grow larger. This will not impact the function of the garden.
- Remove weeds/invasives as needed.
- Add a thin layer of mulch annually, if desired. Alternatively, vegetated ground covers can be used. USE CAUTION WHEN ADDING MULCH! Do not add excessive amounts of mulch; this can "fluff up" the storage area, or block the flow entrance to the garden.
- Inspect for erosion at the entrance/exist points, and/or sediment buildup in the top layer of the garden. If erosion occurred, remove the sediment and correct the problem.



RAIN GARDEN (VARIES-SEE PLAN)

3" FREEBOARD
STORAGE ±1' DEPTH
SUBGRADE
POLLINATOR-FRIENDLY SEE MIX TO BE USED
24" DEPTH OF PLANTING MIX
MIX TO CONSIST OF NATIVE TOPSOIL (50%), SAND (25%), AND LEAF COMPOST (25%)
POLLINATOR-FRIENDLY SEE MIX TO BE USED

RAIN GARDEN
N.T.S.

NOTE: RAIN GARDENS TO BE CONSTRUCTED AND PLANTED IN CONFORMANCE WITH "RAIN GARDENS IN CONNECTICUT: A DESIGN GUIDE FOR HOMEOWNERS" AS PREPARED BY THE UCONN COOPERATIVE EXTENSION SYSTEM.

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REVISION-7:
REVISION-6:
REVISION-5:
REVISION-4:
REVISION-3:
REVISION-2:
REVISION-1:

PROJECT: 225088-MOTILLO

DR-RUG	SR-RUG	DR-JKS

NOT ALL DETAILS ON THIS PLAN MAY BE APPLICABLE

James N. Sakonchick
James N. Sakonchick
CT P.E. & L.S. #11302

SEAL THIS SHALL NOT BE CONSIDERED A SEALED DOCUMENT WITHOUT A LINE HAND PLACED SEAL AND SIGNATURE.

Kratzert, Jones & Associates, Inc.
CIVIL ENGINEERS • LAND SURVEYORS
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337
1755 MERIDEN-WATERBURY RD.
MILLDALE, CT 06457-0337

PHONE: (860) 621-3638
FAX: (860) 621-9609
EMAIL: INFO@KRATZERTJONES.COM

DETAIL SHEET

for
ANTONIO & LISA MOTTILLO

MBL: 14-26C-1
STONYBROOK LANE,
WATERTOWN, CT

SCALE: 1" = 30'
DATE: MAY 21, 2026

KJA FILE NO.:
225-088

DRAWING NO.:
D-1

James N. Sakonchick
James N. Sakonchick
CT P.E. & L.S. #11302

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N/F
 MBL:14-26B-2B
 DOMENIC ANTHONY &
 KELLY ANN GARDINO
 (64 STONYBROOK LN)
 VOL. 2329 PG. 108

MBL:14-26C-1
 AREA = 194,643± S.F.
 = 4.47± ACRES

N/F
 MBL:14-26-14
 ANNE M. PALIULIS
 (1742 LITCHFIELD RD)
 VOL. 1412 PG. 275

N/F
 MBL:14-26-13
 THOMAS J. OBRIEN JR
 (1706 LITCHFIELD RD)
 VOL. 2329 PG. 98

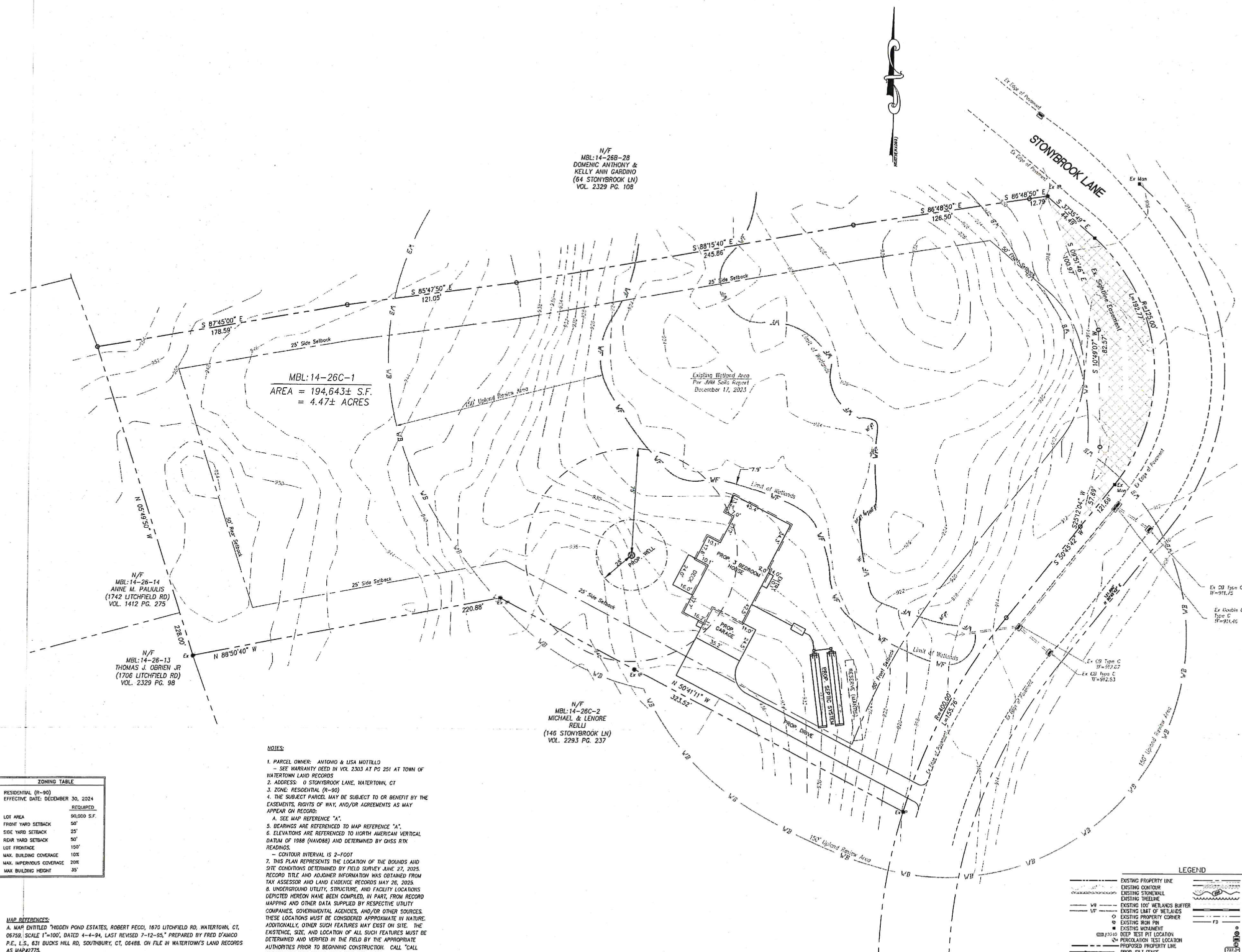
N/F
 MBL:14-26C-2
 MICHAEL & LENORE
 REILLI
 (146 STONYBROOK LN)
 VOL. 2293 PG. 237

NOTES:

1. PARCEL OWNER: ANTONIO & LISA MOTTILLO
 - SEE WARRANTY DEED IN VOL. 2303 AT PG 251 AT TOWN OF WATERTOWN LAND RECORDS
2. ADDRESS: 0 STONYBROOK LANE, WATERTOWN, CT
3. ZONE: RESIDENTIAL (R-90)
4. THE SUBJECT PARCEL MAY BE SUBJECT TO OR BENEFIT BY THE EASEMENTS, RIGHTS OF WAY, AND/OR AGREEMENTS AS MAY APPEAR ON RECORD.
 A. SEE MAP REFERENCE "A".
5. BEARINGS ARE REFERENCED TO MAP REFERENCE "A".
6. ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND DETERMINED BY GNSS RTK READINGS.
 - CONTOUR INTERVAL IS 2-FOOT
7. THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY JUNE 27, 2025. RECORD TITLE AND ADDITIONAL INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS MAY 26, 2025.
8. UNDERGROUND UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES, AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE. THE EXISTENCE, SIZE, AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" AT 811 OR 1-800-922-4455.

ZONING TABLE	
RESIDENTIAL (R-90)	REQUIRED
EFFECTIVE DATE: DECEMBER 30, 2024	
LOT AREA	90,000 S.F.
FRONT YARD SETBACK	50'
SIDE YARD SETBACK	25'
REAR YARD SETBACK	50'
LOT FRONTAGE	150'
MAX. BUILDING COVERAGE	10%
MAX. IMPERVIOUS COVERAGE	20%
MAX. BUILDING HEIGHT	35'

MAP REFERENCES:
 A. MAP ENTITLED "HIDDEN POND ESTATES, ROBERT PECCI, 1670 LITCHFIELD RD, WATERTOWN, CT, 06750, SCALE 1"=100', DATED 4-4-94, LAST REVISED 7-12-95," PREPARED BY FRED D'AMICO P.E., L.S., 631 BUCKS HILL RD, SOUTHURY, CT, 06488. ON FILE IN WATERTOWN'S LAND RECORDS AS MAP 2775.



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REVISION-6:	
REVISION-5:	
REVISION-4:	
REVISION-3:	
REVISION-2:	
REVISION-1:	
PROJECT:	225088-WORLD
DR:RUG	SR:RAD
DR:JWS	

James M. Schuchman
 Surveyor
 CT P.E. & L.S. #11302
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ALTERNATE
 LAYOUT #1

for
 ANTONIO & LISA
 MOTTILLO
 MBL: 14-26C-1
 STONYBROOK LANE,
 WATERTOWN, CT

SCALE: 1" = 30'
 DATE: MAY 21, 2026

HALF ONE INCH TWO INCH
 INCHES ON ORIGINAL

KJA FILE NO.: 225-088
 DRAWING NO.: PL-1

LEGEND			
---	EXISTING PROPERTY LINE	---	PROPOSED BUILDING LINE
---	EXISTING CONTOUR	---	EASEMENT
---	EXISTING STONEWALL	---	PROPOSED COFFOUR
---	EXISTING TREELINE	---	PROPOSED TRELIN/CLEARING LIMITS
---	EXISTING 100' WETLANDS BUFFER	---	PROPOSED STAKED HAY BALES
---	EXISTING LIMIT OF WETLANDS	---	PROPOSED STORM PIPE
---	EXISTING PROPERTY CORNER	---	PROPOSED PERFORATED FOOTING DRAIN
---	EXISTING IRON PIN	---	PROPOSED SOLID FOOTING DRAIN GULLEY
---	EXISTING MONUMENT	---	PROPOSED PROPERTY CORNER
---	DEEP TEST PIT LOCATION	---	PROPOSED MOUND
---	PERCOLATION TEST LOCATION	---	PROPOSED WELL
---	PROPOSED PROPERTY LINE	---	CATCH BASIN
---	PROP. SILL FENCE	---	PROPOSED STORM DRAINAGE MANHOLE
---		---	PROPOSED SPOT ELEVATION

N/F
 MBL:14-26B-2B
 DOMENIC ANTHONY &
 KELLY ANN GARDINO
 (64 STONYBROOK LN)
 VOL. 2329 PG. 108

MBL:14-26C-1
 AREA = 194,643± S.F.
 4.47± ACRES

Existing Wetland Area
 Per JMM Soils Report
 December 17, 2023

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 VOL. 1412 PG. 275

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LEGEND

--- EXISTING PROPERTY LINE	--- PROPOSED BUILDING LINE
--- EXISTING CONTOUR	--- EXISTING
--- EXISTING STONEWALL	--- PROPOSED CONTOUR
--- EXISTING TREELINE	--- PROPOSED TREELINE/CLEARING LIMITS
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REVISION-3:	
REVISION-2:	
REVISION-1:	
PROJECT: 225088-MOTILLO	
DR:RJC	SR:RJC
DR:JMS	

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 James M. Schuchick
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ALTERNATE
 LAYOUT #2

for
ANTONIO & LISA MOTTILLO
 MBL: 14-26C-1
 STONYBROOK LANE,
 WATERTOWN, CT

SCALE: 1" = 30'
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 KJA FILE NO.: 225-088
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